

# Design Adjustment Application



DEVELOPMENT  
SERVICES  
DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions.

This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> Closets By Design		
	<b>Case Number</b> SR-109-17		
	<b>Transaction Number</b> 539567		
<b>OWNER</b>	<b>Name</b> Guy L. Lampe		
	<b>Address</b> P.O. Box 608		<b>City</b> Smithfield
	<b>State</b> North Carolina	<b>Zip Code</b> 27577	<b>Phone</b>
<b>CONTACT</b>	<b>Name</b> Gary J. McCabe, P.E.		<b>Firm</b> Red Line Engineering, P.C.
	<b>Address</b> 1401 Aversboro Road, Suite #210		<b>City</b> Garner
	<b>State</b> North Carolina	<b>Zip Code</b> 27529	<b>Phone</b> (919) 779-6851
<b>REQUEST</b>	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>	- See page 2 for findings	
	<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>	- See page 3 for findings	
	<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	- See page 4 for findings	
	<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	- See page 5 for findings	
	<b>Provide details about the request; (please attach a memorandum if additional space is needed):</b>		
	This design adjustment request is to be exempted from the cross-access requirement to the adjacent lot to the north of the property. Cross-access has been provided to the property to the south. Cross-access to the north cannot be provided due to the location of the existing Tree Conservation Area (TCA) and the steep slopes between the two properties on the northwest corner of the property, where cross-access would need to be provided.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.  
Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date

## CHECKLIST

Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to

[designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:

Development Services, Development Engineering

One Exchange Plaza, Suite 500

Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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## Article 8.3, Blocks, Lots, Access

### Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
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The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

The project provides cross access to the lot adjacent to the south, which meets the intent of Article 8.3. However, an existing Primary Tree Conservation Area with steep topographic slopes prevents the cross-access to the north. In addition, steep slopes, greenway easements and floodplains prevent cross-access to the rear. Cross-access to the south is the only viable option.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

This project has been designed to meet the Comprehensive Plan and adopted City plans, providing cross-access to the south of the proposed site. This is the only area viable for cross-access.

- C. The requested design adjustment does not increase congestion or compromise Safety;

The requested Design Adjustment does not increase congestion or compromise safety as designed because cross-access has been provided to the south. It should also be noted that driveways are spaced adequately to ensure safe ingress and egress.

- D. The requested design adjustment does not create any lots without direct street Frontage;

The proposed site and all adjacent properties all have direct street frontage on Atlantic Avenue. The design adjustment requested would not change this.

- E. The requested design adjustment is deemed reasonable due to one or more of the following:

1. Topographic changes are too steep;
2. The presence of existing buildings, stream and other natural features;
3. Site layout of developed properties;
4. Adjoining uses or their vehicles are incompatible;
5. Strict compliance would pose a safety hazard; or
6. Does not conflict with an approved or built roadway construction project
7. adjacent to or in the vicinity of the site.

An existing primary Tree Conservation Area (TCA) and steep topographic slopes prevent the cross-access to the north. Cross-access has been provided to the adjacent property to the south where no physical features prevent it. In addition, steep slopes, greenway easements and floodplains prevent cross-access to the rear. As such, cross-access to the south is the only viable option for cross-access and is already recorded.

# Individual Acknowledgement



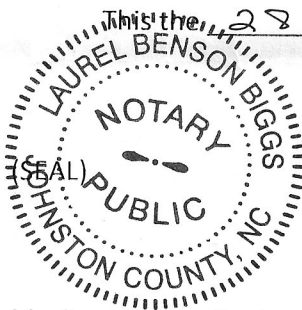
DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA

INDIVIDUAL

COUNTY OF Johnston

I, Laurel Benson Biggs, a Notary Public do hereby certify that  
Guy Lampe personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.



This the 28 day of Feb., 2018.

Notary Public

A handwritten signature of Laurel Benson Biggs in cursive script.

My Commission Expires: July 7, 2020



# CLOSETS BY DESIGN

4500 ATLANTIC AVENUE (P.I.N. 1716-82-4702)  
RALEIGH, NORTH CAROLINA 27604

ASR # SR-109-17

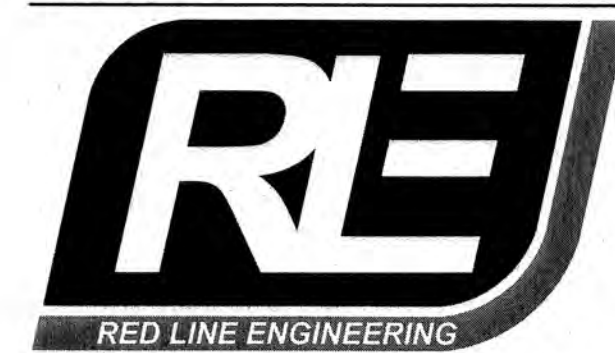
## OWNER

GUY L. LAMPE  
P.O. BOX 608  
SMITHFIELD, NORTH CAROLINA 27577

## DEVELOPER

GREGORY DEVELOPMENT, LLC.  
9541 INDUSTRY DRIVE  
RALEIGH, NORTH CAROLINA 27603

## CIVIL ENGINEER



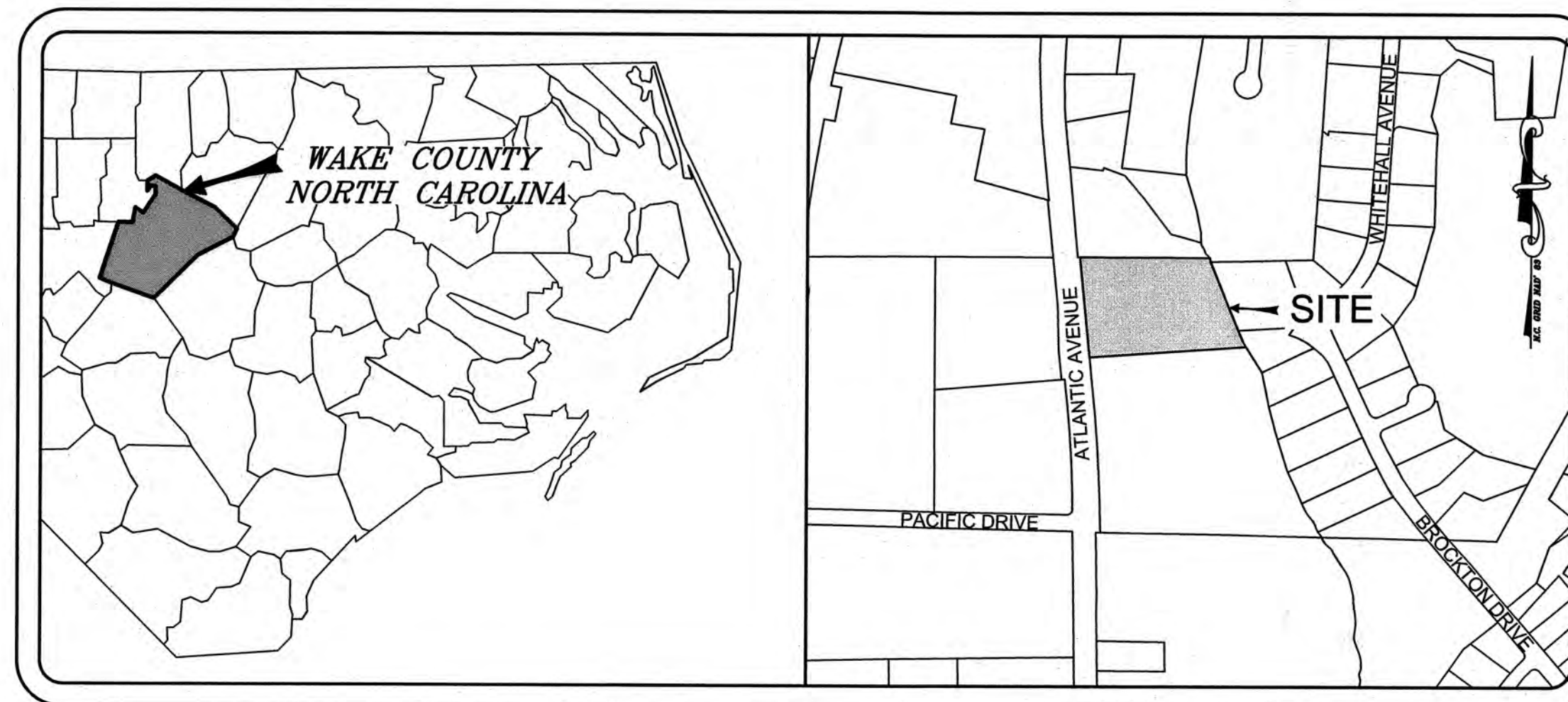
RED LINE ENGINEERING, P.C. (C-3075)  
1401 AVERSBORO ROAD, SUITE 210  
GARNER, NORTH CAROLINA 27529  
PHONE - (919) 779-6851

## SURVEYOR

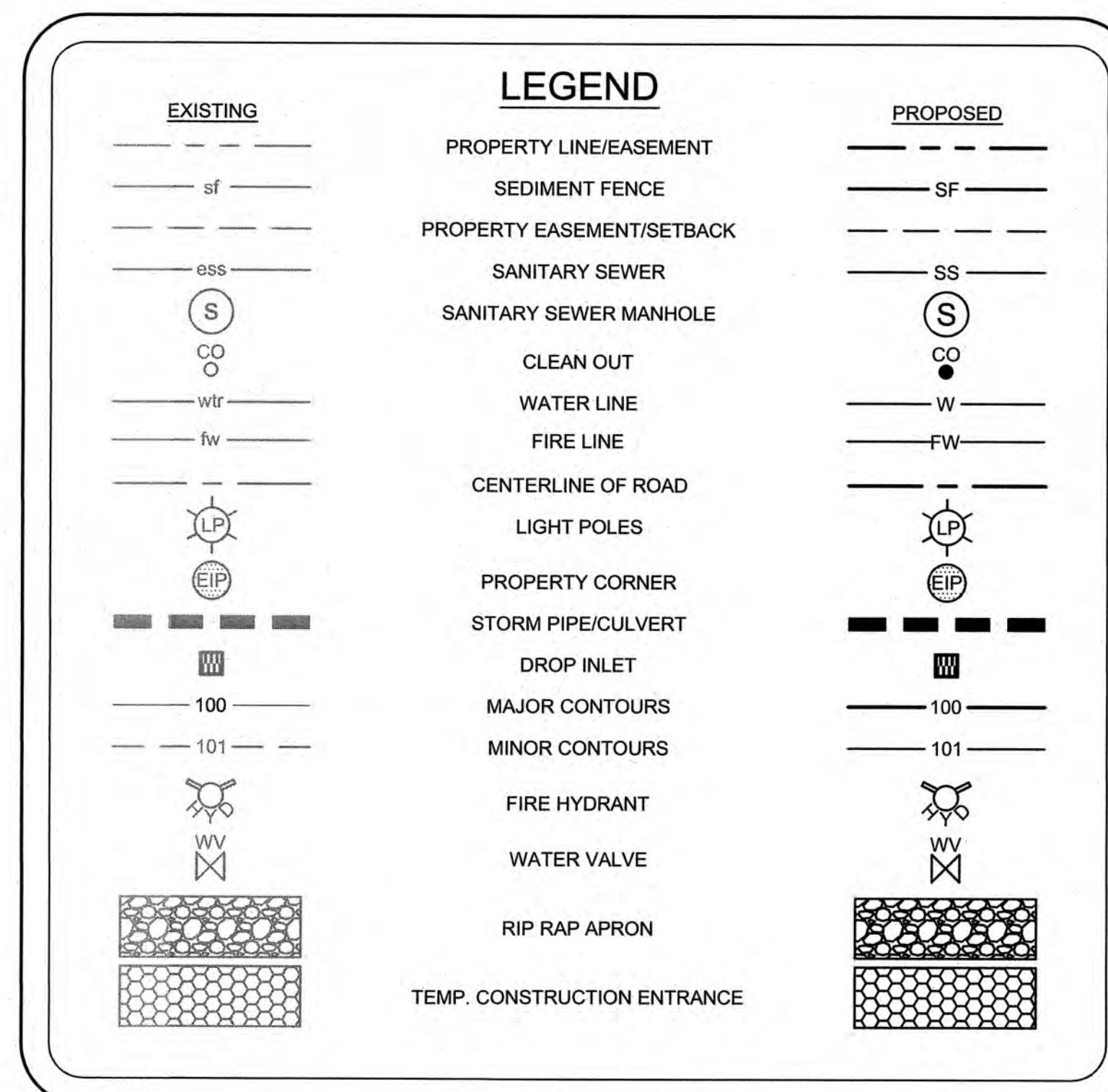
CAWTHORNE, MOSS & PANCIERA, P.C. (C-1525)  
PO BOX 1253  
WAKE FOREST, NORTH CAROLINA 27588  
PHONE: (919) 556-3148  
FAX: (919) 554-1370

## SHEET INDEX

C1	COVER SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	PROPOSED SITE PLAN
C4	PROPOSED GRADING & STORMWATER MANAGEMENT PLAN
C5	PROPOSED UTILITY IMPROVEMENTS PLAN
C6	PROPOSED SANITARY SEWER EXTENSION PLAN & PROFILE
C7	PROPOSED EROSION CONTROL PLAN
C8	SITE DETAILS
C9	C.O.R. STANDARD WATER & SEWER DETAILS
C10	STORMWATER DETAILS DETAILS
C11	EROSION CONTROL DETAILS
C12	PRELIMINARY SITE LIGHTING PLAN
C13	REQUIRED LANDSCAPING
A2.01	ARCHITECTURAL BUILDING ELEVATIONS
A2.02	ARCHITECTURAL BUILDING ELEVATIONS



VICINITY MAP  
SCALE: 1"=500'



### SOLID WASTE STATEMENTS:

- TRASH AND RECYCLING COLLECTION SERVICE SHALL BE PRIVATELY CONTRACTED, VIA THE PROPOSED DUMPSTER CONTAINERS SHOWN ON SITE.
- SOLID WASTE MANAGEMENT PLAN ADHERES TO APPLICABLE SECTION OF RALEIGH SOLID WASTE DESIGN MANUAL.

NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODE VOL. 1C, AND WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.

### C.O.R. STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

### ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, or any other utility, shall be responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require resaturation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

STORMWATER EXEMPTION NOTE: THIS PROJECT IS EXEMPT FROM STORMWATER RUNOFF CONTROL PER UDO SECTION 9.2.2.E.2.g. THE EXISTING 100-YEAR FLOODPLAIN, LARGE AMOUNT OF UNDISTURBED WOODED AREAS AND ONLY 35% IMPERVIOUS AREA PROPOSED HAS NO MEASURABLE IMPACT TO THE SITE, FLOODPLAINS OR SURROUNDING AREAS. AS SUCH, A STORMWATER CONTROL MEASURE WOULD HAVE NO BENEFIT TO THE SITE AND DOWNSTREAM PROPERTIES.

### Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2405 | ext. 919-996-1831  
Lockford Satellite Office | 1320 - 130 Litchfield Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY		
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number Assigned Project Coordinator Assigned Team Leader		
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #				
GENERAL INFORMATION				
Development Name: Closets By Design				
Zoning District: IX-3-PL		Overlay District (if applicable): N/A		
Proposed Use: Light Manufacturing				
Property Address(es): 4500 Atlantic Avenue		Major Street Locator: Atlantic Avenue		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:				
P.I.N. 1716-82-4702	P.I.N.	P.I.N.	P.I.N.	
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Light Industrial <input type="checkbox"/> Other: please describe: LIGHT MANUFACTURING				<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court
WORK SCOPE Per City Code Section 10.2.2.B.1, summarize the project work scope. For additional changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. The proposed project is to develop the vacant lot with a 24,500 sq ft building and associated site improvements to support a light manufacturing use.				
DESIGN ADJUSTMENT OR ADMIN ALTERNATE N/A				
CLIENT/DEVELOPER/OWNER Company: Gregory Development, LLC. Address: 9541 Industry Drive, Raleigh, North Carolina 27603 Phone: (919) 779-3522 Email: clintg@gregory-development.com		Name (s): Clint Gregory		
CONSULTANT (Contact Person for Plans) Company: Red Line Engineering, P.C. Address: 1401 Aversboro Road, Suite #210, Garner, North Carolina 27529 Phone: 919-779-6851 Email: gary.mccabe@rle-pc.com		Name (s): Gary J. McCabe, P.E.		

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REVISION 05.13.16

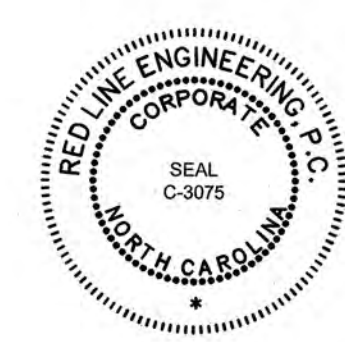
DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information Zoning District(s): IX-3-PL If more than one district, provide the acreage of each: N/A Overlay District: N/A Total Site Acres: 4.25 ACRES Off street parking Required: 23 COA (Certificate of Appropriateness) case #: N/A BOA (Board of Adjustment) case #: N/A CUD (Conditional Use District) case #: N/A	Building Information Proposed building use(s): Light Manufacturing Existing Building(s) sq. ft. gross: N/A Proposed Building(s) sq. ft. gross: 24,750 SF Total sq. ft. gross (existing & proposed): 24,450 SF Proposed height of building(s): 27'-0" # of stories: 1 Ceiling height of 1st Floor: 15'
Existing Impervious Surface: 329 acres/square feet Proposed Impervious Surface: 65,584 acres/square feet New Use Buffer: Yes No Wetland: Yes No	Flood Hazard Area: Yes No If Yes, please provide: Alluvial Soils FEMA Map Panel # 8720171600J Flood Study: Yes No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development: 2,2,7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? Yes No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate: Gary J. McCabe, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: [Signature]	Date: 12-15-17
Printed Name: Gary J. McCabe	
Signed: [Signature]	Date: [Blank]
Printed Name: [Blank]	

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REVISION 05.13.16

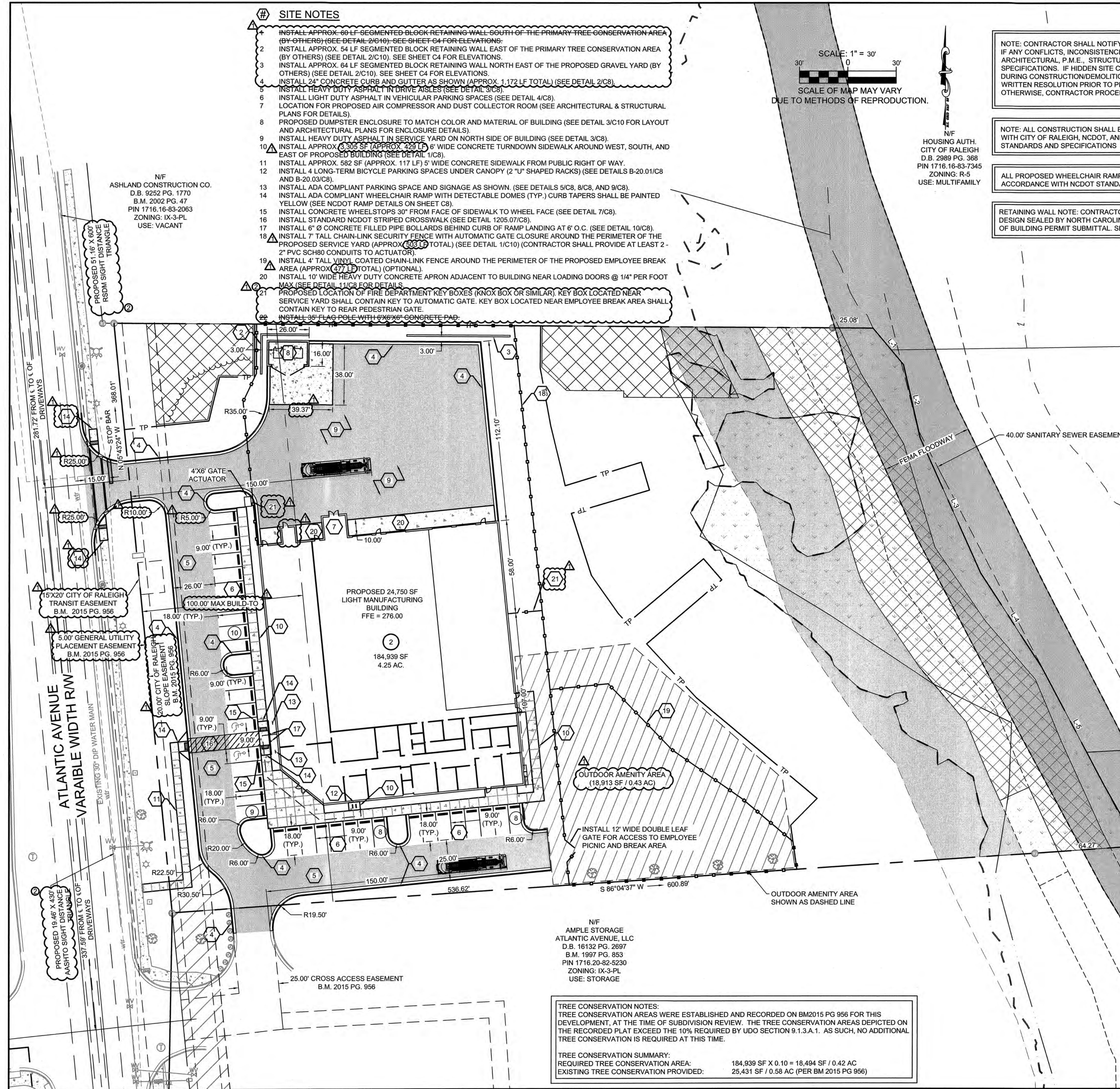
FINAL DRAWING  
NOT RELEASED  
FOR CONSTRUCTION



REVISION 2: MARCH 27, 2018  
REVISION 1: FEBRUARY 21, 2018  
DATE: DECEMBER 15, 2017 PROJ. NO.: 17-010 SHEET C1

C.O.R. TRANSACTION # 539567





- # SITE NOTES
1. INSTALL APPROX. 60 LF SEGMENTED BLOCK RETAINING WALL SOUTH OF THE PRIMARY TREE CONSERVATION AREA (BY OTHERS) (SEE DETAIL 2/C10). SEE SHEET C4 FOR ELEVATIONS.
  2. INSTALL APPROX. 54 LF SEGMENTED BLOCK RETAINING WALL EAST OF THE PRIMARY TREE CONSERVATION AREA (BY OTHERS) (SEE DETAIL 2/C10). SEE SHEET C4 FOR ELEVATIONS.
  3. INSTALL APPROX. 64 LF SEGMENTED BLOCK RETAINING WALL NORTH EAST OF THE PROPOSED GRAVEL YARD (BY OTHERS) (SEE DETAIL 2/C10). SEE SHEET C4 FOR ELEVATIONS.
  4. INSTALL 24" CONCRETE CURB AND GUTTER AS SHOWN (APPROX. 1,172 LF TOTAL) (SEE DETAIL 2/C8).
  5. INSTALL HEAVY DUTY ASPHALT IN DRIVE AISLES (SEE DETAIL 3/C8).
  6. INSTALL LIGHT DUTY ASPHALT IN VEHICULAR PARKING SPACES (SEE DETAIL 4/C8).
  7. LOCATION FOR PROPOSED AIR COMPRESSOR AND DUST COLLECTOR ROOM (SEE ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS).
  8. PROPOSED DUMPSTER ENCLOSURE TO MATCH COLOR AND MATERIAL OF BUILDING (SEE DETAIL 3/C10 FOR LAYOUT AND ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS).
  9. INSTALL HEAVY DUTY ASPHALT IN SERVICE YARD ON NORTH SIDE OF BUILDING (SEE DETAIL 3/C8).
  10. INSTALL APPROX. 3,300 SF (APPROX. 423 LF) 6" WIDE CONCRETE TURNDOWN SIDEWALK AROUND WEST, SOUTH, AND EAST OF PROPOSED BUILDING (SEE DETAIL 1/C8).
  11. INSTALL APPROX. 582 SF (APPROX. 117 LF) 5' WIDE CONCRETE SIDEWALK FROM PUBLIC RIGHT OF WAY.
  12. INSTALL 4 LONG-TERM BICYCLE PARKING SPACES UNDER CANOPY (2 "U" SHAPED RACKS) (SEE DETAILS B-20.01/C8 AND B-20.03/C8).
  13. INSTALL ADA COMPLIANT PARKING SPACE AND SIGNAGE AS SHOWN. (SEE DETAILS 5/C8, 8/C8, AND 9/C8).
  14. INSTALL ADA COMPLIANT WHEELCHAIR RAMP WITH DETECTABLE DOMES (TYP.) CURB TAPERS SHALL BE PAINTED YELLOW (SEE NCDOT RAMP DETAILS ON SHEET C8).
  15. INSTALL CONCRETE WHEELSTOPS 30" FROM FACE OF SIDEWALK TO WHEEL FACE (SEE DETAIL 7/C8).
  16. INSTALL STANDARD NCDOT STRIPED CROSSWALK (SEE DETAIL 1205.07/C8).
  17. INSTALL 6" Ø CONCRETE FILLED PIPE BOLLARDS BEHIND CURB OF RAMP LANDING AT 8' O.C. (SEE DETAIL 10/C8).
  18. INSTALL 7' TALL CHAIN-LINK SECURITY FENCE WITH AUTOMATIC GATE CLOSURE AROUND THE PERIMETER OF THE PROPOSED SERVICE YARD (APPROX. 503 LF TOTAL) (SEE DETAIL 1/C10) (CONTRACTOR SHALL PROVIDE AT LEAST 2-2" PVC SCH80 CONDUITS TO ACTUATOR).
  19. INSTALL 4' TALL VINYL COATED CHAIN-LINK FENCE AROUND THE PERIMETER OF THE PROPOSED EMPLOYEE BREAK AREA (APPROX. 477 LF TOTAL) (OPTIONAL).
  20. INSTALL 10' WIDE HEAVY DUTY CONCRETE APRON ADJACENT TO BUILDING NEAR LOADING DOORS @ 1/4" PER FOOT MAX (SEE DETAIL 11/C8 FOR DETAILS).
  21. PROPOSED LOCATION OF FIRE DEPARTMENT KEY BOXES (KNOX BOX OR SIMILAR). KEY BOX LOCATED NEAR SERVICE YARD SHALL CONTAIN KEY TO AUTOMATIC GATE. KEY BOX LOCATED NEAR EMPLOYEE BREAK AREA SHALL CONTAIN KEY TO REAR PEDESTRIAN GATE.
  22. INSTALL 35' FLAG POLE WITH 6" X 6" CONCRETE PAD.

SCALE: 1" = 30'

SCALE OF MAP MAY VARY DUE TO METHODS OF REPRODUCTION.

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.M.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH, NCDOT, AND STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS

ALL PROPOSED WHEELCHAIR RAMPS (WCR) SHALL BE BUILT IN ACCORDANCE WITH NCDOT STANDARD DRAWINGS 848.05 & 848.06

RETAINING WALL NOTE: CONTRACTOR SHALL PROVIDE RETAINING WALL DESIGN SEALED BY NORTH CAROLINA PROFESSIONAL ENGINEER AT TIME OF BUILDING PERMIT SUBMITTAL. SEE SHEET C4 FOR WALL ELEVATIONS.

N/F  
HOUSING AUTH.  
CITY OF RALEIGH  
D.B. 2989 PG. 368  
PIN 1716.16-83-7345  
ZONING: R-5  
USE: MULTIFAMILY

VICINITY MAP  
SCALE: 1"=500'

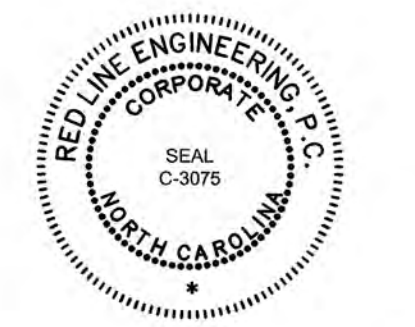
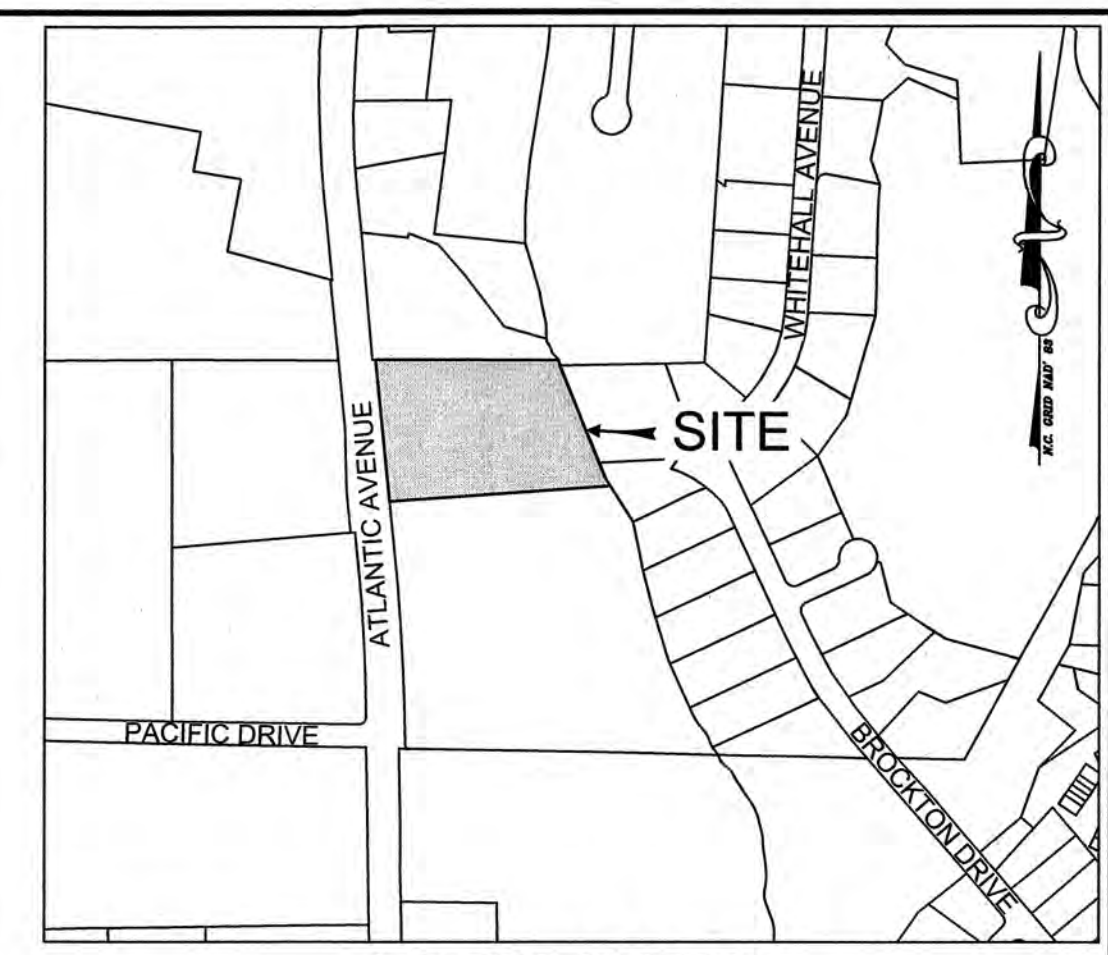
SITE PLAN INFORMATION:

1. NAME: CLOSETS BY DESIGN
2. STREET ADDRESS: 4500 ATLANTIC AVENUE  
RALEIGH, NORTH CAROLINA 27604
3. P.I.N.: 1716-82-4702
4. LAND USE (EXISTING/PROPOSED): VACANT/ LIGHT MANUFACTURING
5. TOTAL NUMBER OF LOTS: 1
6. TOTAL AREA: 184,939 SF/4.25 ACRES
7. DISTURBED AREA: 116,808 SF/2.68 ACRES
8. CURRENT/PROPOSED ZONING: IX-3-PL/IX-3-PL
9. PROPOSED BUILDING LOT COVERAGE: 13%
10. BUILDING SETBACKS: FRONT - 8 FT.  
SIDE - 0 FT. OR 6 FT.  
REAR - 0 FT. OR 6 FT.
11. PRIMARY STREET BUILD-TO (MIN/MAX): (0'/100')
12. REQUIRED PRIMARY BUILD-TO WIDTH (60% PER UDO SEC. 3.4.5.C.2)  
PROPOSED PRIMARY BUILD-TO WIDTH  
(175'/304.01')\*100% = 58%  
368.01 FT - 64 FT TCA = 304.01'50 = 152 FT  
(UDO SECTION 1.5.6.C.4)
13. INSIDE CITY LIMITS: YES
14. INSIDE FLOOD HAZARD BOUNDARY: YES (PER FEMA MAP #3720171600J)  
EFFECTIVE DATE: MAY 2, 2006
15. BUILDING SQUARE FOOTAGE & USE:  
10,550 SF OFFICE  
14,200 SF WAREHOUSE SPACE  
24,750 SF TOTAL
16. OUTDOOR AMENITY AREA (MIN): 0.10 \* (184,939 SF) = 18,493.9 SF  
18,494 SF MINIMUM  
PROPOSED OUTDOOR AMENITY AREA: 18,913 SF PROPOSED
17. PROPOSED PARKING REQUIREMENTS:  
LIGHT MANUFACTURING  
OFFICE SPACE  
(1 SPACE / 600 SF)  
X (10,550 SF)  
17.58 SPACES (18 SPACES REQUIRED)
- WAREHOUSE SPACE  
(1 SPACE / 3,000 SF)  
X (14,200 SF)  
4.73 SPACES (5 SPACES REQUIRED)
- TOTAL SPACES REQUIRED: 23 SPACES TOTAL
- MAXIMUM SPACES ALLOWED  
(23 SPACES)  
X 1.50  
34.50 SPACES (35 SPACES ALLOWED)
- TOTAL SPACES PROVIDED: 35 SPACES PROPOSED
18. PROPOSED BICYCLE PARKING REQUIRED:  
SHORT-TERM PARKING REQUIRED: NONE  
LONG-TERM PARKING REQUIRED: (1 SPACE / 40,000 SF GROSS FLOOR AREA)  
LIGHT MANUFACTURING: X (24,750 SF)  
0.62 SPACES (1 SPACE REQUIRED)  
LONG-TERM BICYCLE PARKING PROVIDED: 4 SPACES MINIMUM (PER SECTION 7.1.2 COR UDO)  
(PROVIDED INSIDE WAREHOUSE)
19. IMPERVIOUS SURFACE AREA:  
EXISTING: 329 SF / 0.01 ACRES (0.2%)  
PROPOSED: 64,946 SF / 1.49 ACRES (35.1%)  
TOTAL: 65,275 SF / 1.50 ACRES (35.3%)
19. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA: NO
20. OWNER: GUY L. LAMPE  
P.O. BOX 608  
SMITHFIELD, NC 27577
21. DEVELOPER: GREGORY DEVELOPMENT  
9541 INDUSTRY DRIVE  
RALEIGH, NC 27603

N/F  
AMPLE STORAGE  
ATLANTIC AVENUE, LLC  
D.B. 16132 PG. 2697  
B.M. 1997 PG. 853  
PIN 1716.20-82-5230  
ZONING: IX-3-PL  
USE: STORAGE

TREE CONSERVATION NOTES:  
TREE CONSERVATION AREAS WERE ESTABLISHED AND RECORDED ON BM2015 PG 956 FOR THIS DEVELOPMENT, AT THE TIME OF SUBDIVISION REVIEW. THE TREE CONSERVATION AREAS DEPICTED ON THE RECORDED PLAT EXCEED THE 10% REQUIRED BY UDO SECTION 9.1.3.A.1. AS SUCH, NO ADDITIONAL TREE CONSERVATION IS REQUIRED AT THIS TIME.

TREE CONSERVATION SUMMARY:  
REQUIRED TREE CONSERVATION AREA: 184,939 SF X 0.10 = 18,494 SF / 0.42 AC  
EXISTING TREE CONSERVATION PROVIDED: 25,431 SF / 0.58 AC (PER BM 2015 PG 956)



FINAL DRAWING  
FOR REVIEW  
PURPOSES ONLY

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CLOSETS BY DESIGN  
4500 ATLANTIC AVENUE  
RALEIGH, NORTH CAROLINA 27604

PROPOSED SITE PLAN

REVISIONS:	DATE:
1. PER COR	2/21/18
2. PER COR	3/27/18

ISSUED FOR:	DATE:
REVIEW/PERMIT	12/15/17

PROJECT NO.:	17-010
DRAWN BY:	TAL
REVIEWED BY:	GJM

SHEET NUMBER:

C3

OF 14 SHEETS

